



DRAFTING SOLUTIONS 1511 BEAVER AVE. MANKATO, MN 56001 (507)351-4609 DRAFTING.SOLUTIONS

MILLELACS BAND OF **BLUE SPRUCE** 

FOUNDATION PLAN

OJIBWE

6-20-16 JAMISEN SWENSON Drawn by

A102

1/4" = 1'-0"

PATIO 44' - 0" 4'-0" X 4'-0" X 10" CONC. FTG 8' - 5 5/8" 12' - 0" 8' - 0" FOUNDATION NOTES 1. ALL FOOTINGS SHALL BE BELOW FROST LINE CONSULT LOCAL CODES FOR PROPER DEPTH. 2. MASONRY CONTRACTOR TO ENSURE ALL REINFORCING MEETS OR EXCEEDS ALL APPLICABLE CODES. 3. ANCHOR BOLTS 6'-0" O/C MAX.WITHIN ALL FOUNDATION WALLS INCLUDING GARAGE WALLS. 4. ASSUMED SOIL BEARING 1500 P.S.F. MIN. CONTRACTOR TO VERIFY CONDITIONS. 5. BLOCK ALL POSTS BETWEEN FLOORS SOLID PROVIDE FOR DOOR OPENINGS AS REQ'D.

VERIFY ROUGH OPENING PER DOOR MANUF. 3' - 10 1/2" 3' - 10 1/2" 16' - 3" 24' - 0"

1 FOUNDATION PLAN 1/4" = 1'-0"



HOME OF THE PROFESSIONALS LE SUEUR 507-665-6426

CONSTRUCTION DOCUMENTS



DRAFTING SOLUTIONS

1. A LOCAL BUILDING OFFICIAL PRIOR
SITE FOR VERIFYING DIMENSIONS, OR
SITE FOR MANKATO, MN 56001

(507) 351-4609

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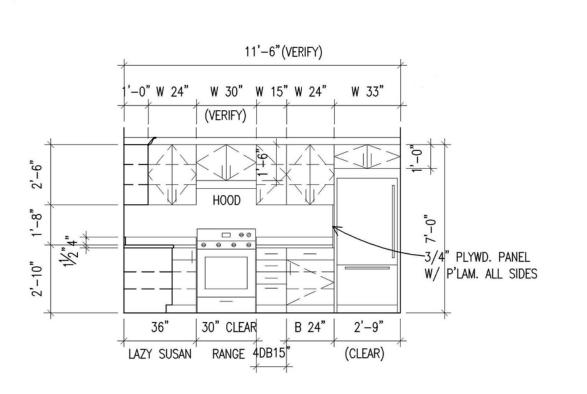
MAIN FLOOR PLAN

Date 6-20-16
Drawn by JAMISEN SWENSON

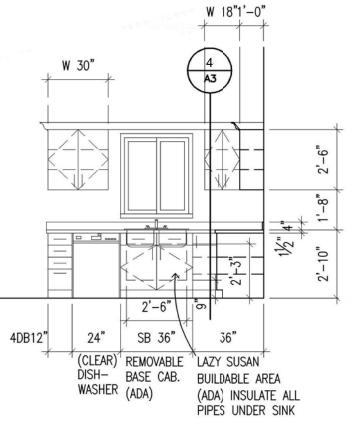
A103

As indicated

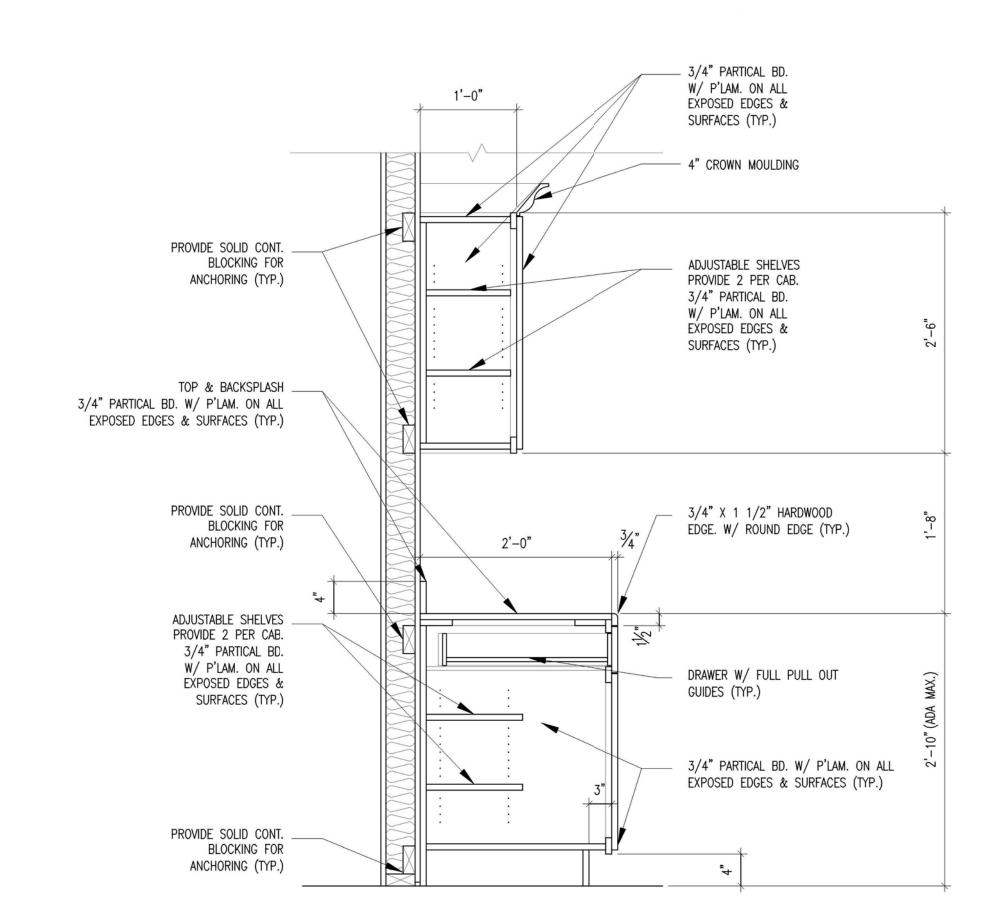
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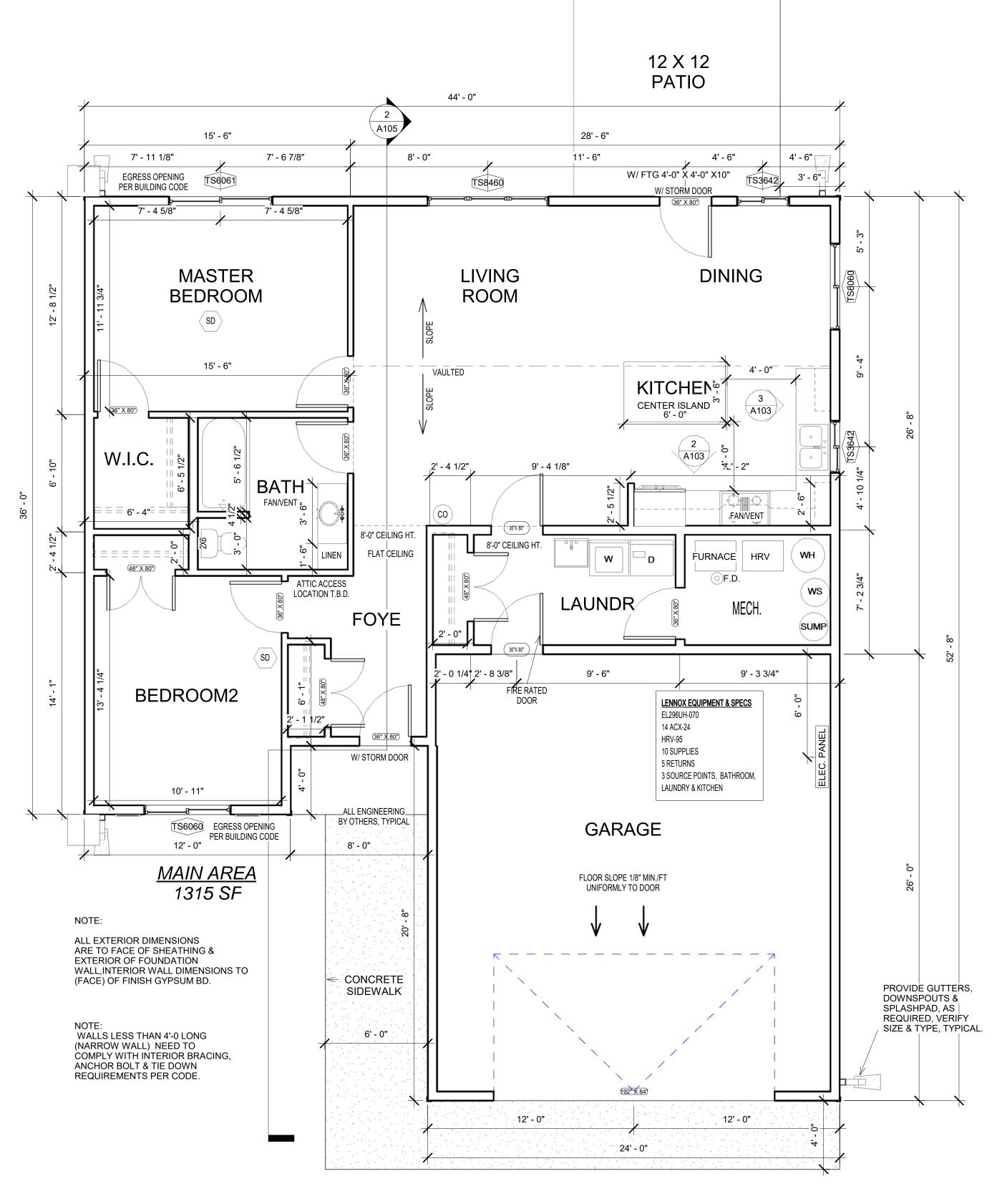








CABINET DETAIL (TYP.)



1 MAIN LEVEL PLAN 1/4" = 1'-0"

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HE GREA LUDING 8 IT IS RE ER'S COI SPECIFIC	BLUE SPRUCE

ELECRICAL PLAN Drawn by

A104

6-20-16

1/4" = 1'-0"

JAMISEN SWENSON

## GENERAL PLAN NOTES

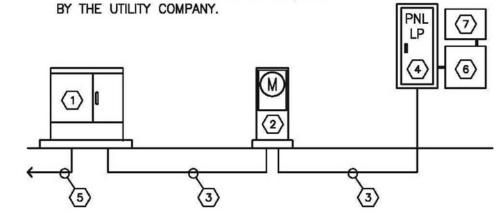
- A. ALL ELECTRICAL DEVICES AND/OR EQUIPMENT SHALL BE INSTALLED WITH MOUNTING HEIGHTS AS INDICATED BY THE SPECIFICATIONS, UNLESS INDICATED OTHERWISE BY THE DRAWINGS:
- B. ALL DUPLEX RECEPTACLES INSTALLED IN BATHROOMS AND AT KITCHEN COUNTERS, SHALL BE GFCI PROTECTED.
- C. ALL CIRCUIT BREAKERS SERVING BEDROOM LIGHTING, AND RECEPTACLE BRANCH CIRCUITS SHALL BE OF THE ARC FAULT PROTECTION TYPE.
- D. DEVICE LOCATIONS, MOUNTING HEIGHTS, ETC. SHALL BE COORDINATED WITH THE ARCHITECTURAL SECTIONS AND ELEVATIONS, PRIOR TO ROUGH-IN
- E. ALL UNIT SMOKE DETECTORS SHALL BE TIED TOGETHER, SUCH THAT THE ACTIVATION OF ANY ONE DETECTOR, WILL CAUSE ALL DETECTORS TO GO
- BRANCH CIRCUITING REQUIREMENTS SHALL BE PROVIDED AS INDICATED BY THE PANELBOARD SCHEDULE.
- WHERE TELEPHONE AND TELEVISION OUTLETS ARE LOCATED IN CLOSE PROXIMITY TO THE OTHER, OUTLETS SHALL BE COMBINED IN A SINGLE OUTLET BOX WITH COMBINATION COVERPLATE.
- WHERE CITY WATER IS AVAILABLE THE CONNECTION FOR THE WELL WILL NOT BE REQUIRED.

## ELECTRICAL PLAN NOTES

- SWITCHED RECEPTACLE SWITCH TOP HALF OF DUPLEX RECEPTACLE AS INDICATED AND/OR REQUIRED.
- (2) ELECTRIC RANGE 40A, 240V-1PH RECEPTACLE AT 24" A.F.F.
- (3) RANGE HOOD/MICROWAVE 20A, 120V-1PH CONNECTION AT 60" A.F.F.
- (4) DISHWASHER 20A, 120V-1PH CONNECTION AT 24" A.F.F.
- 5 CLOTHES WASHER 20A, 120V-1PH DUPLEX RECEPTACLE INSTALLED AT 48" A.F.F.
- 6 CLOTHES DRYER 30A, 240V-1PH RECEPTACLE INSTALLED AT 48" A.F.F. GARAGE DOOR OPERATOR - 20A, 120V-1PH RECEPTACLE MOUNTED ON CEILING. CONTROLS BY EQUIPMENT SUPPLIER/INSTALLER.
- B DOORBELL SYSTEM PUSHBUTTON STATION, TRANSFORMER, AND CHIME. NUTONE DOORBELL SYSTEM #CD-110ND, OR APPROVED EQUAL.
- TELEPHONE AND TELEVISION SERVICE DEMARCATION TERMINAL BOARD. STUB OUT 1" C (EMPTY) BELOW GRADE TO 5'-0" OUTSIDE BUILDING FOR SERVICE ENTRANCE CABLING.
- INSTALL OUTLETS/DEVICES IN FACE OF COUNTER AS REQUIRED. COORDINATE EXACT DEVICE LOCATIONS WITH THE ARCHITECTURAL SECTIONS AND DETAILS.

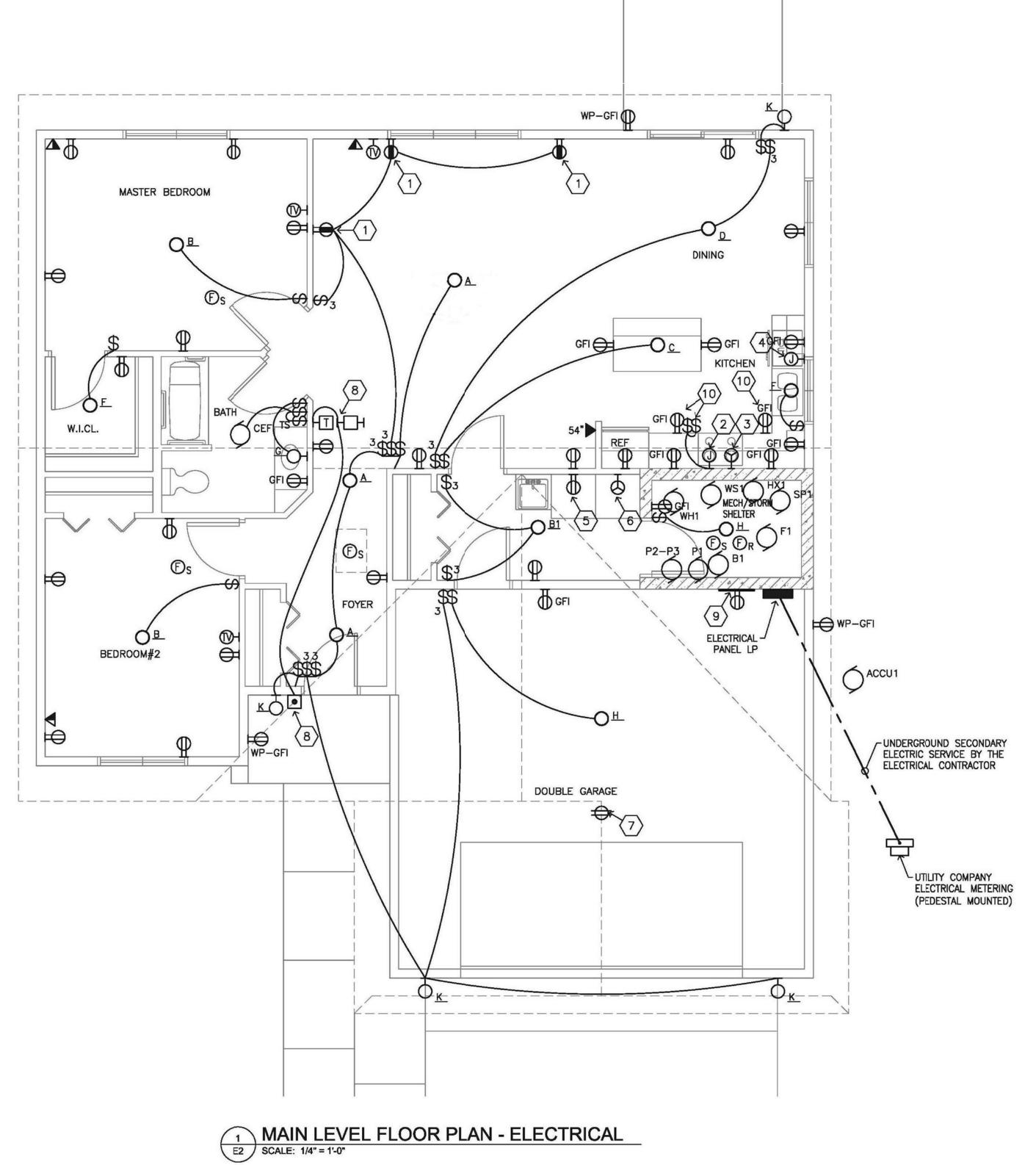
## ELECTRICAL SERVICE RISER DIAGRAM NOTES

- 1 UTILITY COMPNAY PAD MOUNTED TRANSFORMER. PROVIDE RISER CONDUIT AND WEATHERHEAD FOR UTILITY OPTION OF POLE MOUNTED TRANSFORMER. COORDINATE LOCATION WITH UTILITY COMPANY.
- 2 PEDESTAL MOUNTED METER SOCKET AND METER LOCATED ADJACENT TO UTILITY TRANSFORMER AS REQUIRED BY THE UTILITY COMPANY. (22,000 AIC - VERIFY WITH UTILITY)
- 3 UNDERGROUND FEEDER 200A, SINGLE PHASE, THREE WIRE PLUS
- 4 LOADCENTER 200A, SINGLE PHASE, THREE WIRE PROVIDE AS REQUIRED BY THE DRAWINGS AND AS SCHEDULED. (22,000 AIC -VERIFY WITH UTILITY)
- 5 PRIMARY FEEDER BY THE UTILITY COMPANY.
- 6 DEDUCTIVE METERING CT CABINET FOR OFF-PEAK WATER HEATER AND BOILER. PROVIDE CT'S, ETC. AND METER, AND INTERCONNECT AS REQUIRED BY THE UTILITY COMPANY.
- (7) RELAY(S) TO CONTROL OFF-PEAK WATER HEATER AND BOILER. PROVIDE CONTROL RELAY OR RELAYS, AND RADIO OR TELEPHONE RECIEVER AND INTERCONNECT AS REQUIRED



ELECTRICAL SERVICE RISER
DIAGRAM (OFF-PEAK OPTION)
E2 SCALE: NOT TO SCALE

PANELBOARD NO. LP						LOCATION Gar MAINS 200A M MOUNTING Surf						<u>0</u> 1 3					
		LOAD IN kW			kW		PHASE				LOAD IN kW						
C.B. NO.	C.B. SIZE	LTG	RECP	MTR	HEAT	OTHER	DESCRIPTION	A	В	DESCRIPTION	OTHER	HEAT	MTR	RECP	LTG	C.B. SIZE	C.B.
1	20/1	0.3	0.5	¥			Exterior Ltg/Receptacles	4.8		Range		- 5		4.0		40/2	2
3	20/1	× .	0.2				Bathroom Receptacles		4.2			- 7		4.0			4
5	15/1	0.6	0.4				Dining/Kitchen/Utility/MechRm	2.6		Microwave/Hood			0.1	1.4	0.1	20/1	6
7	15/1		0.9	0.2		-	Living Room		2.0	Sm Appliance (Alternating)		- 1	•	0.9		20/1	8
9	15/1	0.2	1.1	ж			Master Bedroom/Walk-In	2.0		Sm Appliance (Alternating)				0.7		20/1	10
11	15/1	0.2	0.9				Bedroom 2		2.3	Dishwasher				1.2		20/1	12
13	15/1	0.5	0.5	0.3			Bathroom/Foyer/Garage	1.7		Dining Rm Receptacles				0.4		20/1	14
15	15/1	*					Spare		1.2	Garage Door Operator		19		1.2		20/1	16
17	15/1						Spare	1.5		Clothes Washer				1.5		20/1	18
19	15/1						Spare		2.3	Clothes Dryer				2.3		30/2	20
21	15/1		•				Spare	2.3						2.3			22
23	15/1		•				Spare		2.3	Condensing Unit ACCU1			2.3			30/2	24
25	15/1						Spare	2.3					2.3				26
27	15/1		36				Spare		1.2	Furnace F1			1.2	- >		20/1	28
29	15/1						Spare	0.2		Heat Exchanger HX1			0.2	٠,	•	20/1	30
31	20/1			1.0			Pumps P1, P2 & P3		2.0	Water Soft WS1/Sump SP1	- 10	,	1.0	-		20/1	32
33	70/2				6.8		Boiler B1	6.8		Spare		7		- 1		20/1	34
35	70./5				6.8				6.8	Spare		- 1				20/1	36
37	30/2	•			2.3		Water Heater WH1	2.5		Telephone/TV Terminal				0.2		20/1	38
39	•	•	•	•	2.3	,			3.5	Well WL		,	1.2	3		20/1	40
		1.8	4.5	1.5	18.2	0.0	TOTALS	26.7	27.8	TOTALS	0.0	0.0	8.3	19.9	0.1		



CEILING HEIGHT: 8' 1 1/8", MIN OF 7'-0" - MAIN FLR (UNLESS OTHERWISE NOTED)
MIN 7'-0" CLEAR HDRM UNDER DUCTS
WATER CLOSETS: 1.6 GAL MAX
EXHAUST FAN - VENT DIRECTLY OUTSIDE
SMOKE DETECTOR CONNECTED TO A SOUNDING
DEVICE OF OTHER DETECTOR AUDIBLE IN
SLEEPING AREAS. MUST BE HARDWIRED

AND INTERCONNECTED.
FIRE STOP ALL KIT SOFFITS, FIRE STOP STUD @ 10'
INTERVALS (NO HINGE POINT) AND AT CEILING LINE
BEDROOM WINDOWS: FIRE EXIT REQ'D, 20" MIN
CLEAR WIDTH, 24" MIN CLEAR HEIGHT, 5.7 SQ
FT MIN OPENING, 44" MAX SILL HEIGHT
STAIRS: 8" MAX RISE, 9" MIN TREAD, HANDRAIL
34"-38" HEIGHT, CONTINUOUS & UNINTERRUPTED
THE FULL LENGTH OF STAIRS: HANDRAIL ENDS
SHALL BE RETURNED OR SHALL TERMINATE IN
A NEWEL POST OR SAFETY TERMINAL, MIN
HEADROOM IS 6'-8"

GUARDRAILS: UNENCLOSED FLR & ROOF OPNGS, OPEN & GLAZED SIDES OF LANDINGS & RAMPS, BALCONIES, DECKS OR PORCHES WHICH ARE MORE THAN 30" ABOVE GRADE OF FLR BELOW, REQ. A GUARDRAIL W/ A MIN 36" HGT. OPEN GUARDRAILS MUST HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SO THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.

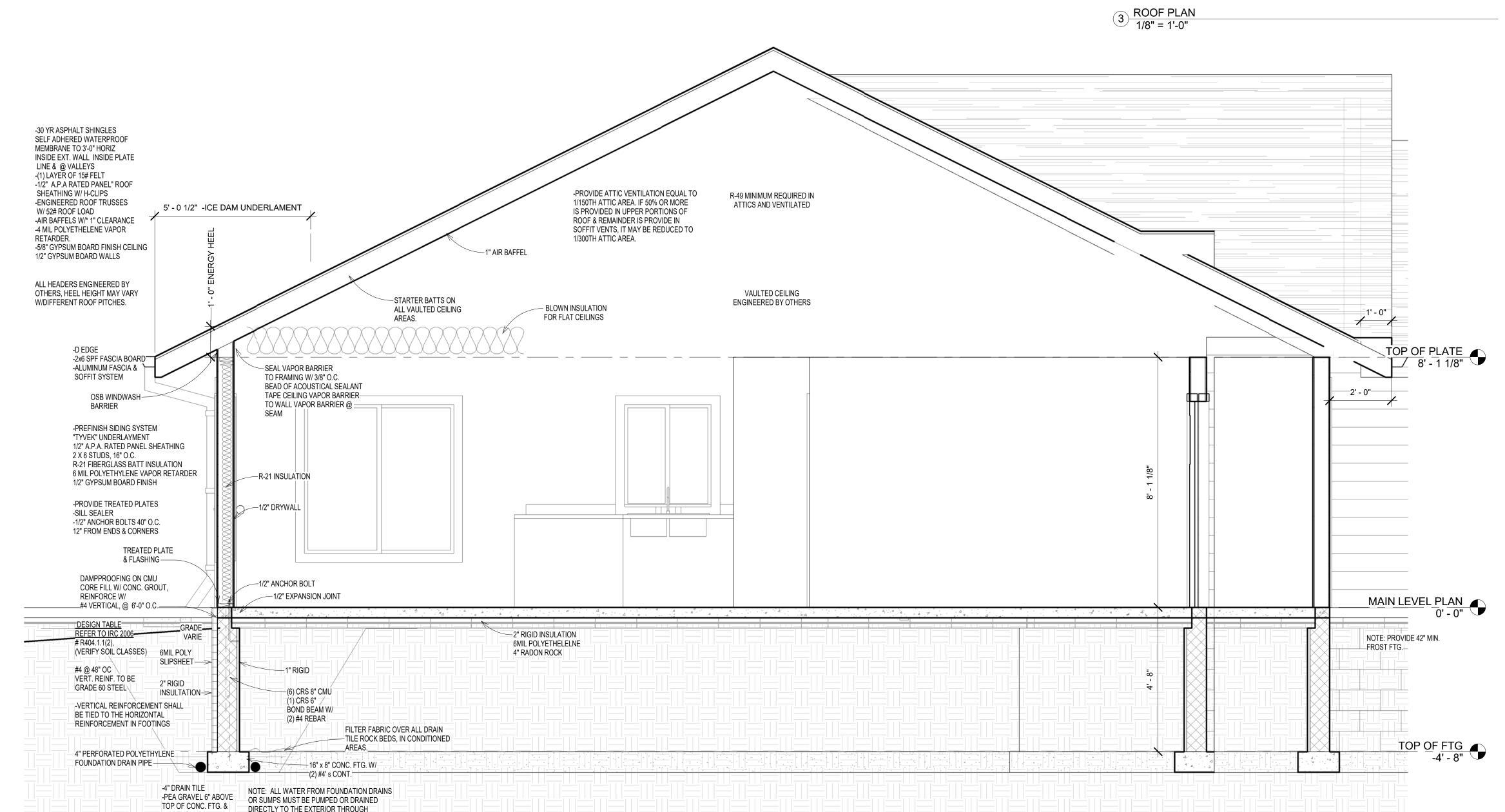
PASS THROUGH.
HANDRAILS: ON STAIRS W/ 4 OR MORE RISERS A
CONTINUOUS, UNINTERRUPTED HANDRAIL IS REQ'D ON
ONE SIDE. INSTALL 34"-38" HIGH & RETURN THE ENDS
OR TERMINATE IN A NEWEL POST. HANDRAILS SHALL
BE 1 1/4" - 2" IN DIAMETER

PROVIDE ATTIC VENTILATION EQUAL TO 1 / 150TH ATTIC AREA. IF 50% OR MORE IS PROVIDED IN UPPER PORTION OF ROOF AND REMAINDER IS PROVIDED IN SOFFIT VENTS. IT MAY BE REDUCED TO 1/300TH ATTIC AREA.

MAINTAIN MINIMUM OF 36" WIDTH OF HALLWAYS AND STAIRWAYS DECKS, STAIRS, AND PORCHES: ALL STRUCTURAL MEMBERS MUST BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR TREATED ALL 2-2 X 10 DF HEADERS UNLESS OTHERWISE NOTED ALL BEAMS TO BE SIZED BY MANUFACTURER GARAGE NOTE: (SEE BRACED WALL DETAIL) WALLS LESS THAN 32" IN LENGTH SHALL BE SHEATHED ON BOTH SIDES AND SHALL HAVE A TIE-DOWN DEVICE FASTENED TO THE FOUNDATION SUPPLIER TO PROVIDE TRUSS LAYOUT FOR PERMIT PROVIDE OUTSIDE COMBUSTION AIR DUCT TO 12" OF FLOOR (IF APPLICABLE)-FURNACE FLUE TO BE FIRE STOPPED AT EVERY FLOOR AND CEILING LÉVEL AND MAINTAIN THE PROPER CLEARANCE 8" MAX BETWEEN TOP OF THRESHOLD AND 1ST GARAGE STEP, 1 1/2" MAX THRESHOLD ALL STAIRWAYS TO BE PROVIDED W/ ILLUMINATION IF FOUNDATION WALLS ARE PARALLEL TO FLR FRAMING, SOLID BLOCKING OR DIAGONAL BRACING MUST BE INSTALLED T THE ANCHOR BOLT LOCATIONS IN THE 1ST 2 JOIST OR TRUSS SPACES MINIMUM WOOD TO EARTH SEPARATION 6" R703.2 A IN OF 1 LAYER OF NO. 15 ASPHALT FELT COMPLYING W/ ASTM D 226 FOR TYPE 1 FELT OR OTHER APPROVED WEATHER-RESISTIVE MATERIAL SHALL BE APPLIED OVER SHEATHING ON ALL EXTERIOR WALLS. APPLY HORIZONTALLY W/ THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2". WHERE JOINTS OCCUR, FELT TO BE LAPPED NOT LESS THAN 6". BUILDING PAPER OR OTHER APPROVED MATERIAL TO BE CONT. UP TO THE UNDERSIDE OF THE RAFTER OR TRUSS TOP CHORD & TERMINATED AT PENETRATIONS. UNLESS PROHIBITED BY SHEATHING OR SIDING MANUFACTURER R319.3 FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, ALLICON BRONZE OR COPPER. EXCEPTION: ONE-HALF INCH (12.7MM) DIAMETER OR GREATED STEEL BOLTS. VERIFY SLOPE OF GRADE ON SITE

2-2 X 6 SPF TRIMMERS UNLESS OTHERWISE NOTED (SEE TRUSS MANUFACTURER FOR POINT LOADS)

PLUMBER AND ELECTRICIAN TO INSTALL WASHER/DRYER HOOKUPS AND VENTING ON MAIN FLR AS PER PLAN.





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CONSTRUCTION DOCUMENTS



CONSULTATION, AND CONTROL OVER ONDITIONS, THE DESIGNER ASSUMES NO E TO ANY DEFICIENCIES, OMISSIONS, OR INSULT A LOCAL BUILDING OFFICIAL PRIOR ONSIBLE FOR VERIFYING DIMENSIONS, ORDERING AND DELIVERY OF MATERIALS.	1511 BEA MANKATO (507)3	S SOLUTIONS AVER AVE. O, MN 56001 351-4609 S.SOLUTIONS
OF PROVIDING PERSONAL AND/OR "ON SITE" CONSUI USE OF THE GREAT VARIANCE IN WEATHER CONDITIO GES, INCLUDING STRUCTURAL FAILURES DUE TO ANY EPRINTS. IT IS RECOMMENDED THAT YOU CONSULT A DN. OWNER'S CONTRACTOR SHALL BE RESPONSIBLE SES AND SPECIFICATIONS THAT MAY AFFECT ORDERIN	OJII	S BAND OF BWE SPRUCE
THE IMPOSSIBILITY OF SUCTION AND BECAUSE LITY FOR ANY DAMAGES I'VE DESIGN OR BLUEPRIST OF CONSTRUCTION.  NINGS, PLAN CHANGES	Date Drawn by	6-20-16 JAMISEN SWENSON
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2 Section 1 1/2" = 1'-0"

RIGID PLASTIC OR STEEL PIPING.

12" BEYOUND